

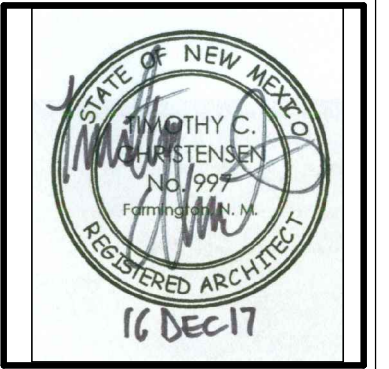
Timothy Christensen, Architect  
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Building At  
 119 South Church Ave.  
 Aztec, New Mexico

16/DEC/2017

1709

A1.1

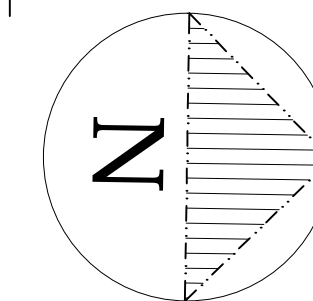
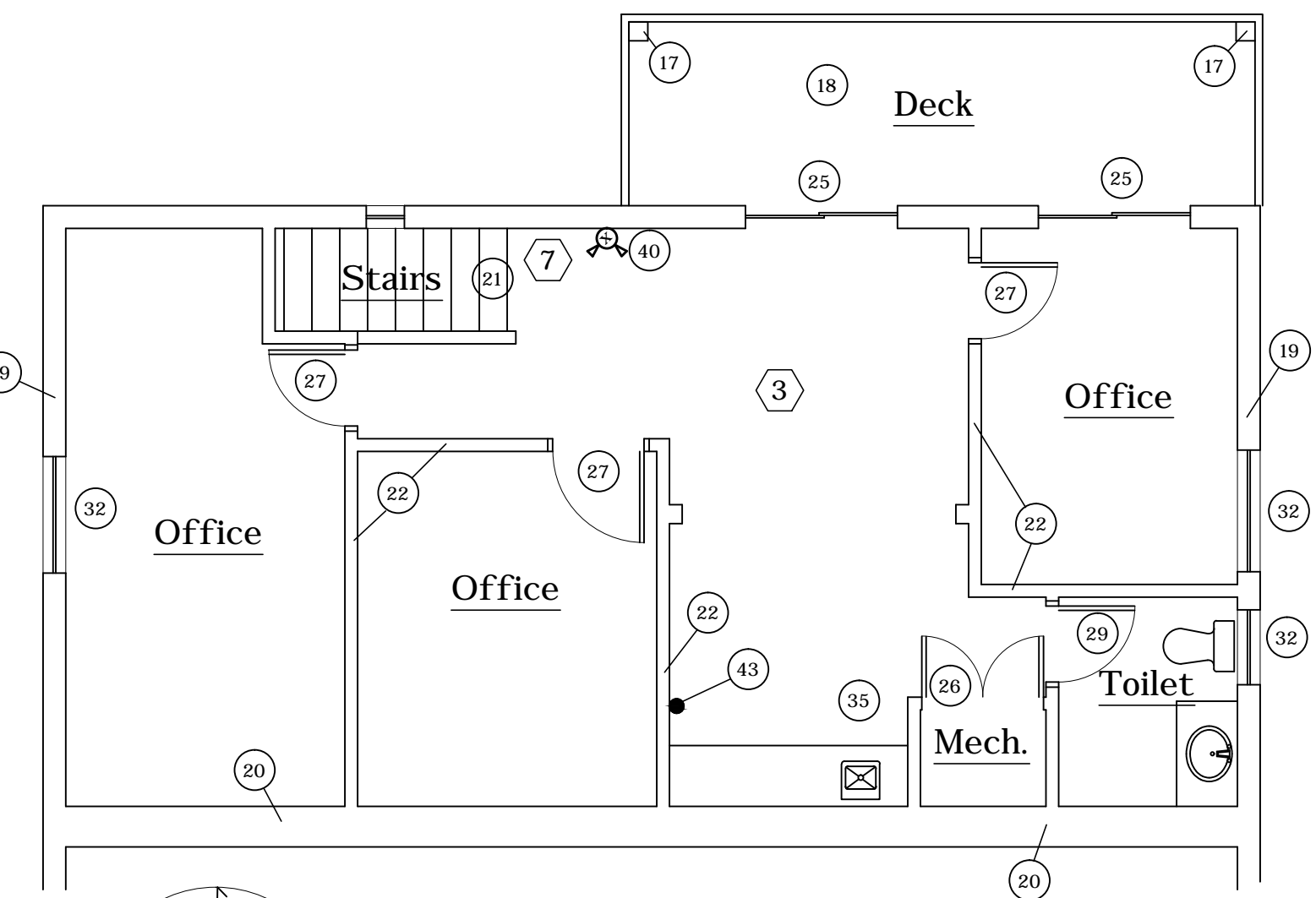


**Notes - Floor Plan** (5)

1. Entry Area To Be Redesigned. See Sheet A2.1.
2. Restroom To Be Remodeled. See Sheet A2.1.
3. Existing Curb And Gutter
4. Existing Sidewalk
5. Existing Fence
6. Existing Concrete Entry Slab.
7. Remove Existing Concrete Sidewalk And Curb For New Accessible Walk And Ramps.
8. New Concrete Sidewalk Level With Existing Parking Area. See Details Sheet A4.1.
9. New Concrete Ramp - Not To Exceed 1 In 12 Slope. See Details A4.1.
10. New Concrete Curb. See Details Sheet A4.1.
11. New Parking Stripe. Verify Parking Space Is 9'-0" Wide.
12. New Handicap Parking Symbol.
13. Existing Storage Shed.
14. Existing Wood Stairs.
15. Existing Wood Ramp. See Detail Sheet A4.1 For Addition Of Toe Guard To Ramp Handrails.
16. Existing Wood Framed Landing.
17. Existing Wood Column.
18. Existing Wood Framed Deck.
19. Existing 8" Concrete Block Exterior Wall.
20. Existing Interior Wall - Combination Wood Frame And Concrete Block.
21. Existing Stairs. Install New Handrails. See Sheet A4.1 For Handrail Details.
22. Interior Wood Frame Wall.
23. Existing Wood Screen Wall.
24. Existing Interior Column.
25. Existing 5'-0" Wide Sliding Glass Door.
26. Existing 4'-0" Wide Double Door.
27. Existing 36" Wide Interior Door.
28. Existing 32" Wide Interior Door.
29. Existing 30" Wide Interior Door.
30. Existing 5'-0" Wide Opening.
31. Existing 30" Wide Opening.
32. Existing Window.
33. Existing Storefront System.
34. Existing Bar.
35. Existing Counter And Sink.
36. Remove Existing Storefront Door And Replace With Storefront Door That Swings Out With Panic Hardware And Closer. Match Door To Existing Storefront System. Panic hardware With Thumb Latch, Closer.
37. Remove Existing Exterior Metal Door. Install New 3'-0" Wide Insulated Metal Door With Panic Hardware And Closer.
38. Design of Plumbing Remodel Shall Be By Plumbing Sub-Contractor. The Plumbing Sub-Contractor Shall Provide All Information Necessary To Obtain A Plumbing Permit.
39. Existing Exit/Emergency Combination Light.
40. New Exit/Emergency Combination Light.
41. New Detectable Warning Pads
42. Existing Fire Extinguisher
43. Install New Fire Extinguisher. See Specifications.

**Code Notes** (X)

1. The Governing Code is the 2015 International Existing Building Code. This is a Level 2 Remodel.
2. This building is in a downtown parking district. I have shown one accessible parking space for this building.
3. The primary use of this building is an Incubator Center for the development of new business. The second floor of this building is not accessible. But the use of the second floor is office - business. There is space on the first floor for that use.
4. This building has 4 exits. 2 are accessible. Only 1 of the exits has doors swinging in the direction of travel. The remaining 3 exits are being remodeled to change the door swings.
5. I have designed an exit corridor at the entry to the bar to allow safe exit from the second floor.
6. I have shown a remodel of one of the restrooms so that a Handicap Accessible Restroom is available in the building.
7. None of the existing stairs have handrails that meet code. I have shown new handrails in all the stairways.
8. I have shown the addition of a toe rail to the handrails at the existing exterior ramp.

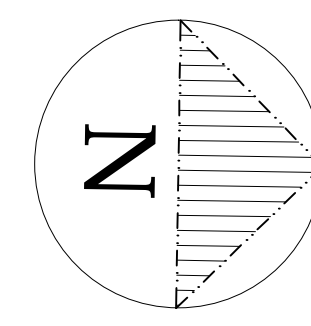
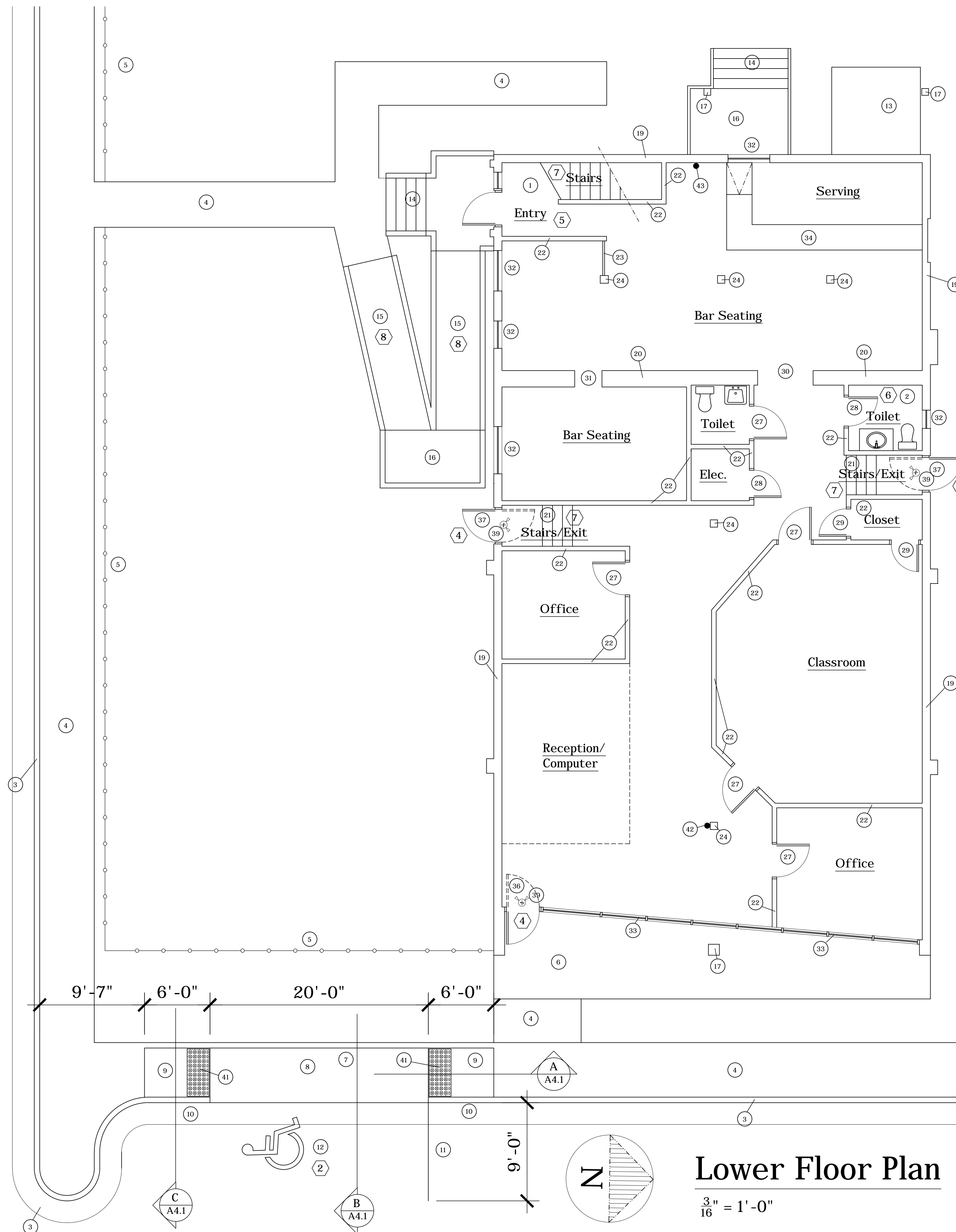


**Upper Floor Plan**

$\frac{3}{16}'' = 1' - 0''$

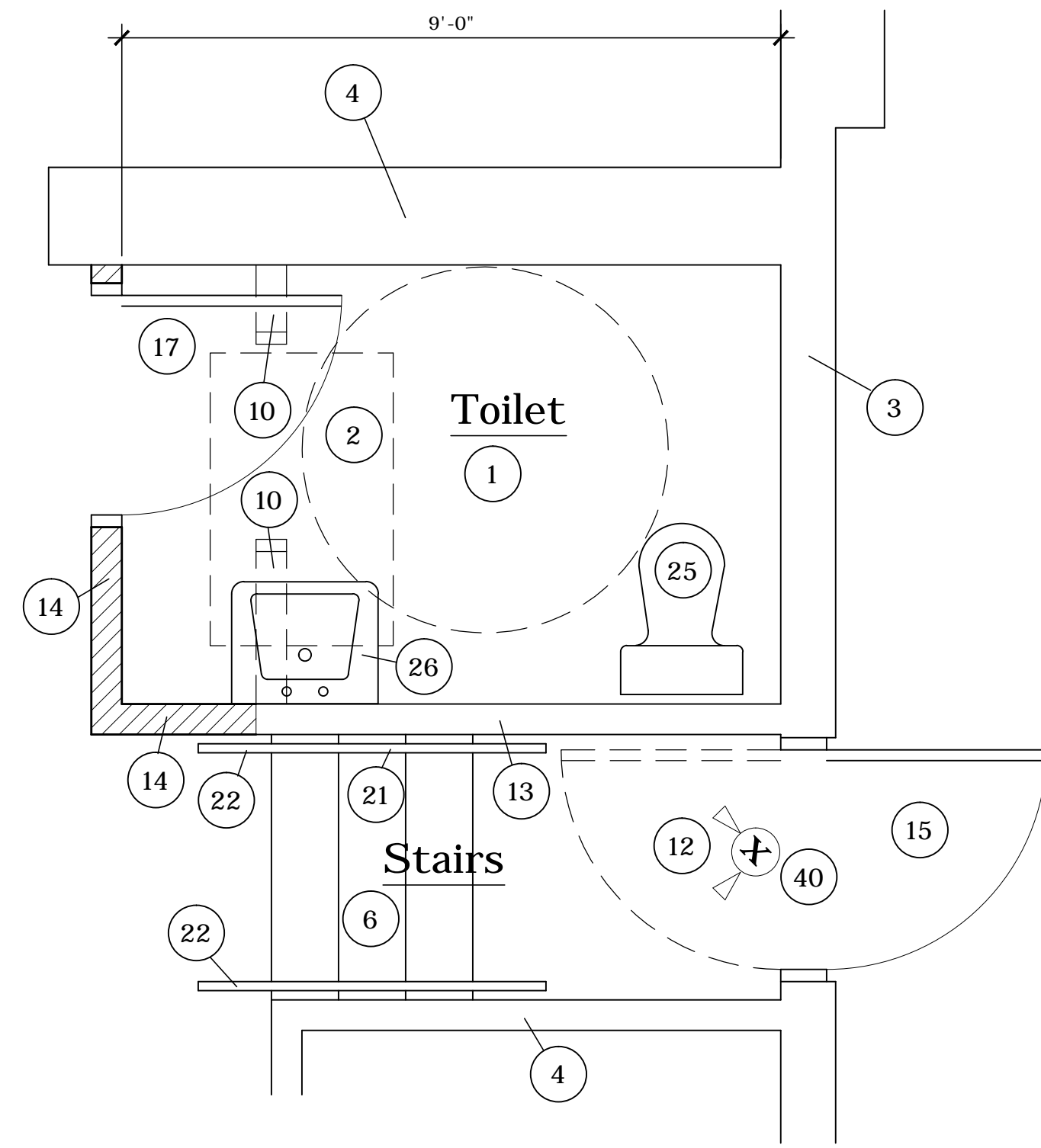
**Code Analysis**

Governing Codes	2015 International Building Code	2015 International Existing Building Code	2003 International Fire Code	2015 Uniform Mechanical Code	2015 Uniform Plumbing Code	2011 National Electrical Code
Occupancy Type	B & A-2 Unseparated Existing Building Code - Level 2					
Floor Area	1st Floor	2,838 s.f.	2nd Floor	844 s.f.	Total	3,482 s.f.
Occupant Load	Bar Seating	675 s.f./15 = 45	Serving (Bar)	143 s.f./200 = 1	Office	839 s.f./100 = 8
	Classroom	567 s.f./30 = 19	Storage	35 S.F./300 = .5	Restrooms	141 s.f./0 = 0
	Mechanical	56 s.f./0 = 0	Circulation	1,061 s.f./0 = 0	Total	73.5
Exits	2 Exits Required	4 Provided	2 Exits Are Accessible			
Plumbing Load	Required	1 Per Gender	Provided	3	1 Remodeled For Handicap Accessibility	



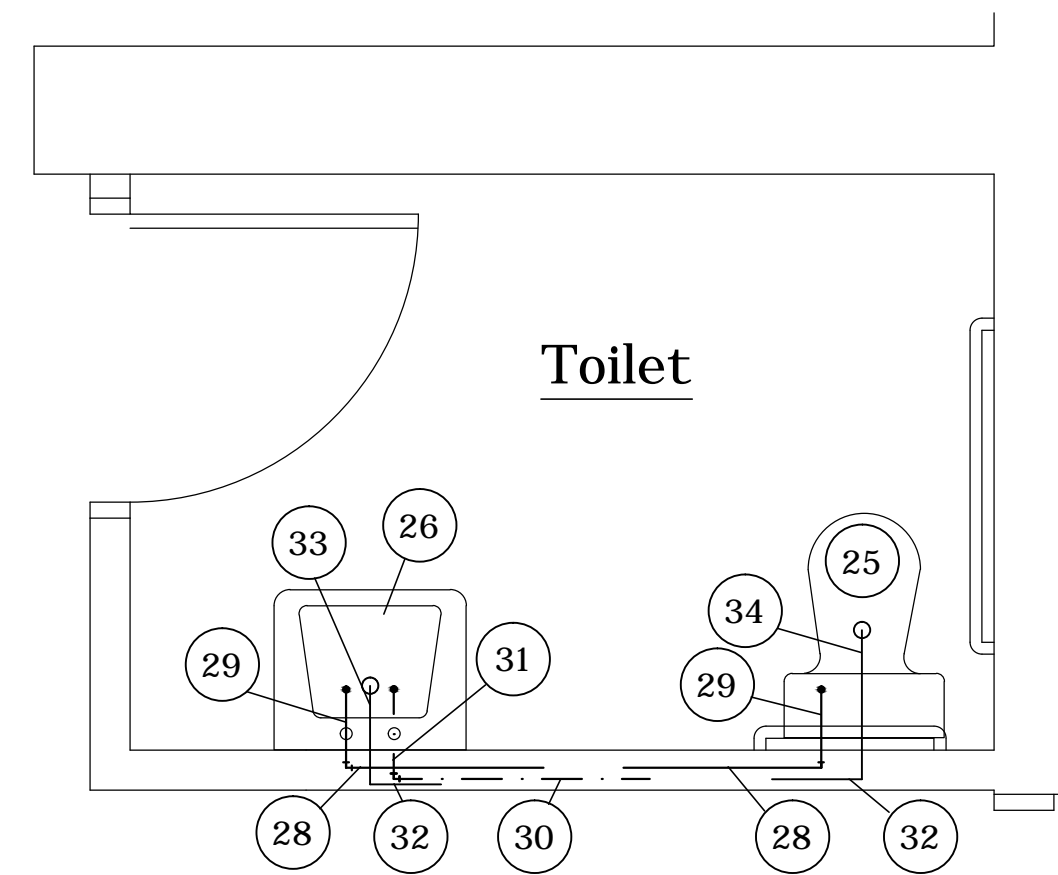
**Lower Floor Plan**

$\frac{3}{16}'' = 1' - 0''$



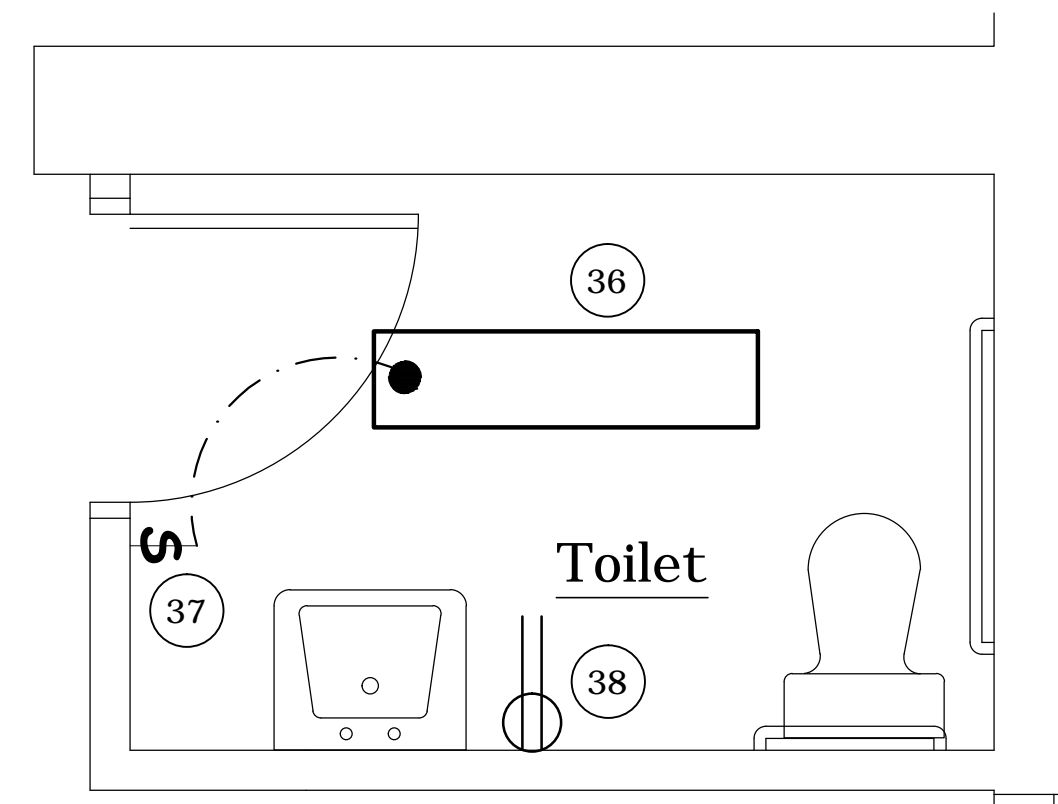
**Enlarged Restroom Floor Plan**

1/2" = 1'-0"



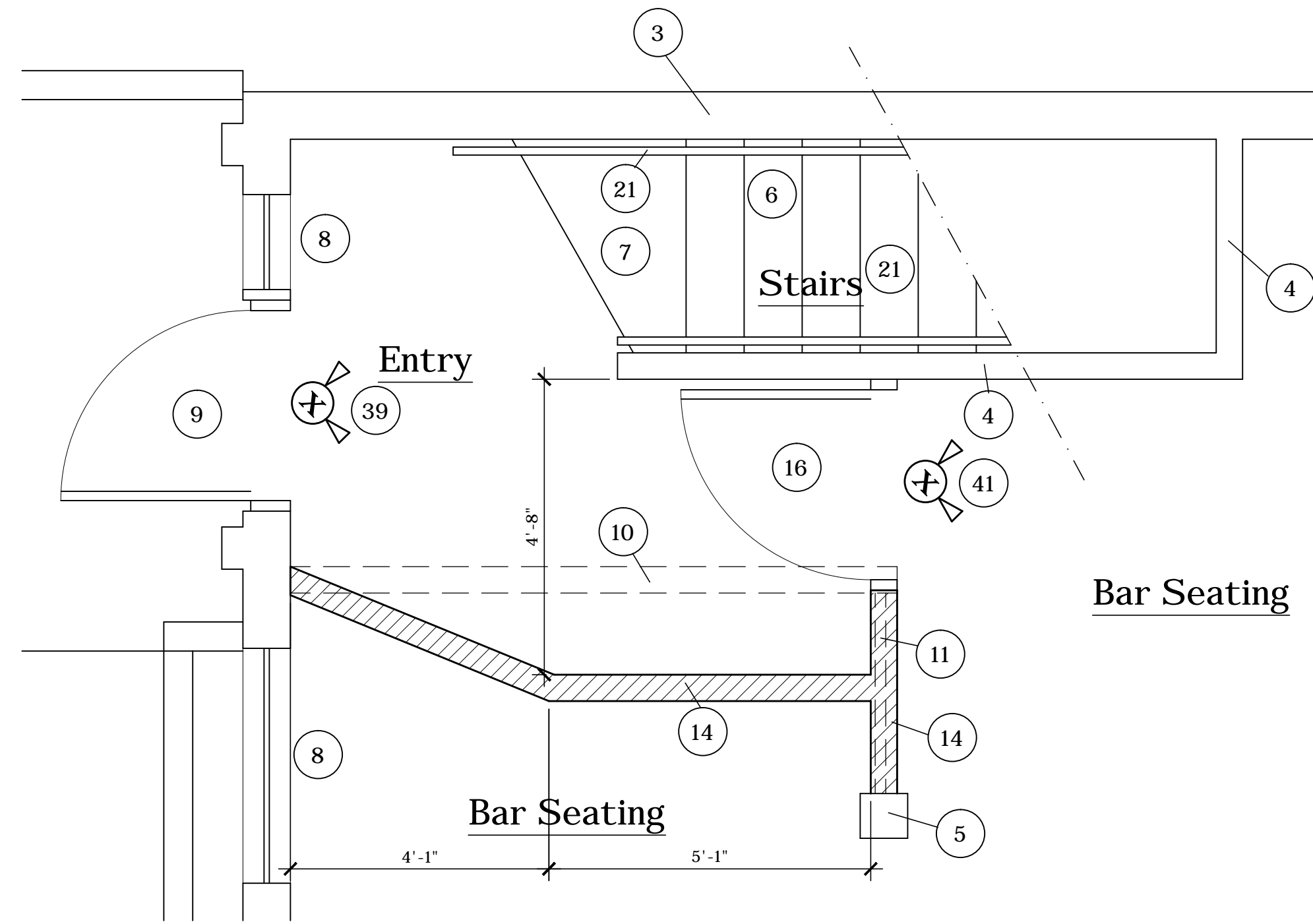
**Restroom Plumbing Plan**

1/2" = 1'-0"



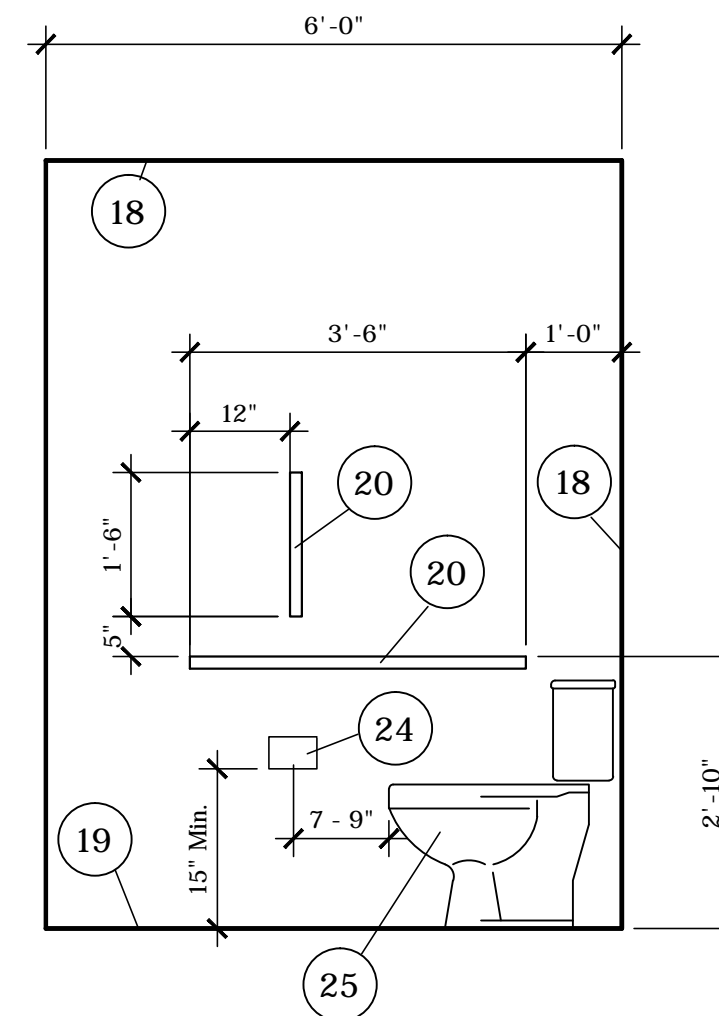
**Restroom Electrical Plan**

1/2" = 1'-0"



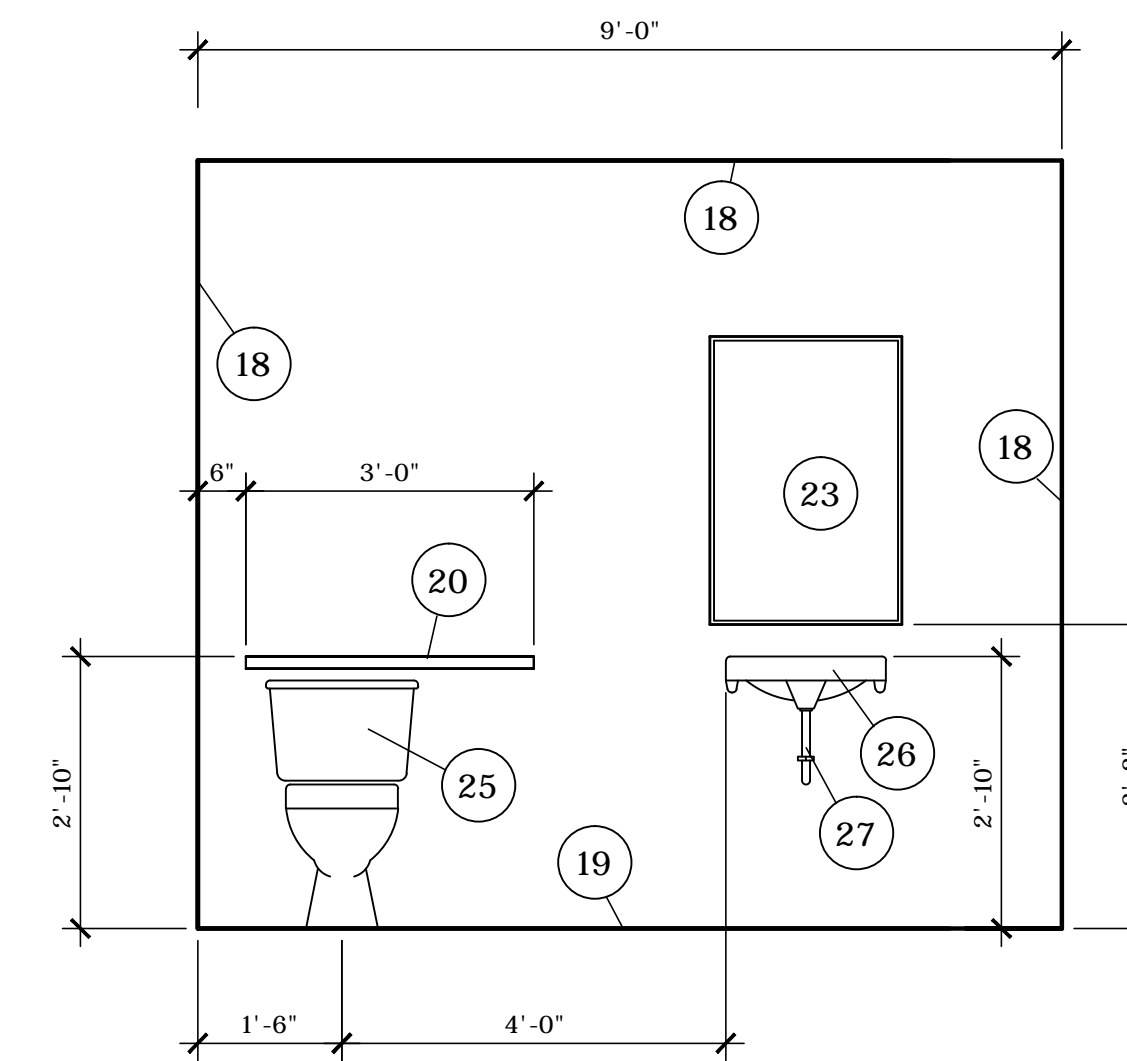
**Enlarged Bar Entry Floor Plan**

1/2" = 1'-0"



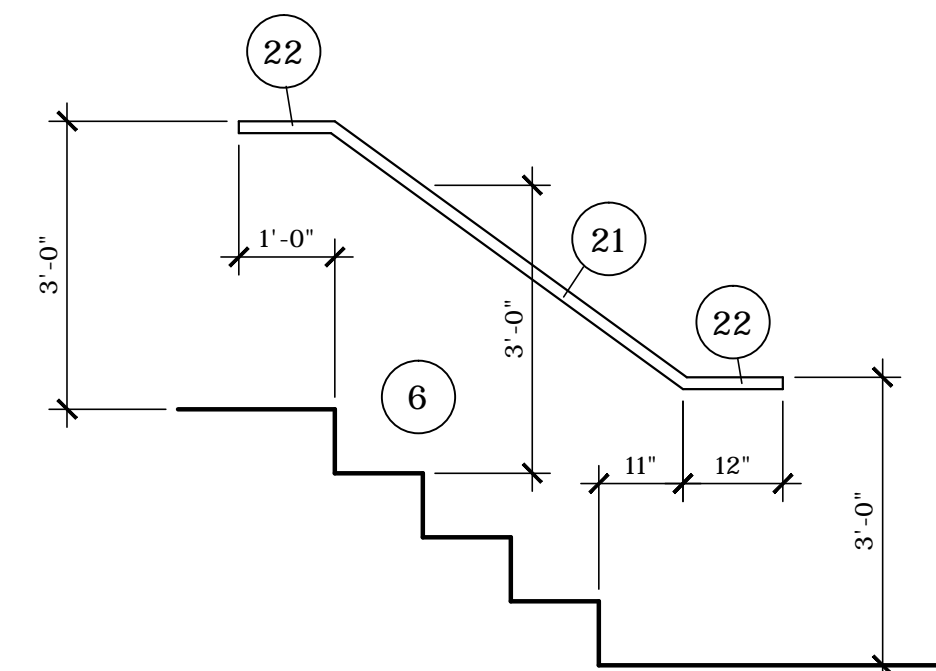
**Bathroom Elevation "A"**

1/2" = 1'-0"



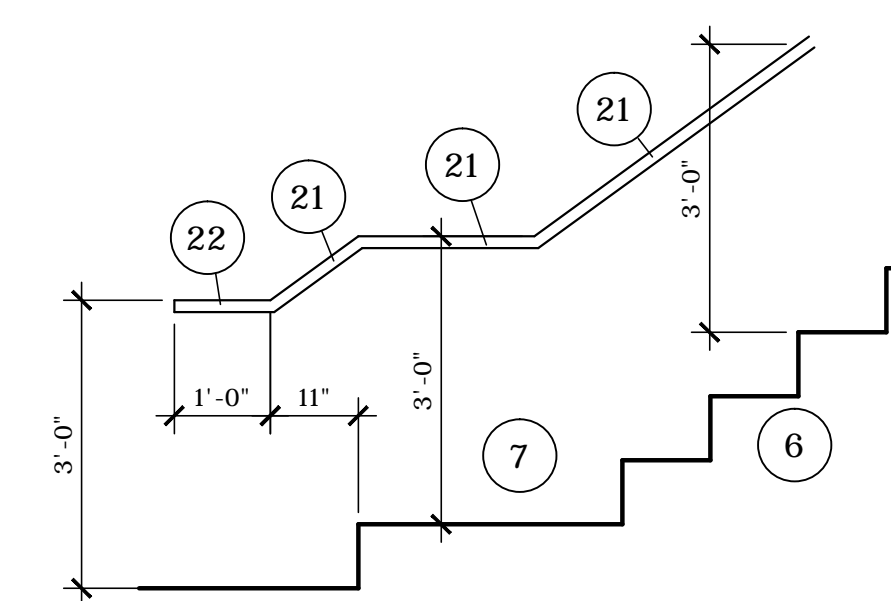
**Bathroom Elevation "B"**

1/2" = 1'-0"



**Handrail Elevation "C"**

1/2" = 1'-0"

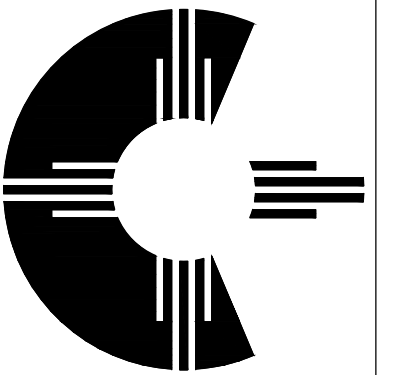


**Handrail Elevation "D"**

1/2" = 1'-0"

**Notes - Floor Plan** 5

1. 5'-0" Diameter Handicap Turning Circle.
2. 30" x 48" Accessible Space For Lavatory.
3. Existing Exterior Concrete Block Wall.
4. Existing Interior Wall.
5. Existing Column.
6. Existing Stairs.
7. Existing Landing.
8. Existing Window.
9. Existing 3'-0" Wide Entrance Door. Install Panic Hardware And Closer.
10. Remove Existing Wall.
11. Remove Existing Screen Wall.
12. Remove Existing Exterior Door.
13. Existing Wood Frame Wall. Remove Sheetrock On Restroom Side Of Wall And Install New 5/8" Sheetrock To Match New Wall And Wall Finish. Install Blocking For Grab Bars And Lavatory.
14. New 2x4 Wood Stud Wall With Studs @ 16" o.c. With 2x6 P.T.Wood Or Redwood Sole Plate. See Wall Section this Sheet.
15. New Insulated Exterior Metal Door With Panic Hardware And Closer.
16. New 3'-0" Wide 20 Minute Door With Push-Pull, Deadbolt And Closer. Post A Sign Adjacent To The Door That Says: "This Door Shall Remain Unlocked During Business Hours".
17. New 3'-0" Wide Door With Handicap Accessible Lockset With Lever Handle.
18. Ceilings And Wall Painted With Impervious Epoxy Paint. Patch Sheetrock Ceiling to Match Existing Finish.
19. Floor Finish Shall Be Impervious Hard Surface Flooring. See Specifications.
20. 1 1/2" Stainless Steel Grab Bar. Provide Blocking In New Wall For Grab Bars. Provide Anchors In Existing Wall.
21. New Handrail. See Detail Sheet A4.1.
22. Handrail Extension At Top And Bottom Of Stairway.
23. New Mirror. See Specifications.
24. Toilet Paper Dispenser. See Specifications.
25. Handicap Accessible Water Closet. See Specifications.
26. Handicap Accessible Wall Hung Lavatory With Lever Handle Faucet Handles. Provide Blocking For Lavatory Hanger In Wall Framing. See Specifications.
27. Insulate Exposed Piping Under Lavatory.
28. Existing Cold Water Line In Wall. Protect During Demolition. Replace Visible Damaged Water Lines As Necessary.
29. New 1/2" Cold Water Line To New Lavatory. Match Existing Size And Material. Connect To Existing Water Line In Wall.
30. Existing Hot Water Line In Wall. Protect During Demolition. Replace Visible Damaged Water Lines As Necessary.
31. New 1/2" Hot Water Line. Match Existing Size And material. Connect to Existing Hot Water Line In Wall.
32. Existing Sewer Line In Wall. Protect During Demolition. Repair Visible Lines As Necessary.
33. New 2" Sewer Line To Existing Sewer Line In Wall.
34. Existing Trap And 4" Sewer Line. Install New Fittings As Necessary.
35. The Plumbing Sub-Contractor Shall Provide All Information Necessary To Obtain A Plumbing Permit.
36. New 24" x 48", 2 Tube Fluorescent Light. Connect To Existing Junction Box In Ceiling.
37. New Light Switch. White, Single Rocker Switch, 15 Amp 120V VAC Side Wired With Grounding Screw. New Junction Box. Connect To Existing Wiring In Existing Wall.
38. New GFCI Dual Outlet Receptable. Install In Existing Junction Box.
39. Remove Existing Exit Light. Replace With New Combination Exit/Emergency Light.
40. Existing Exit Light To Remain.
41. New Combination Exit/Emergency Light.
42. The Electrical Sub-Contractor Shall Provide All Information Necessary To Obtain An Electrical Permit.



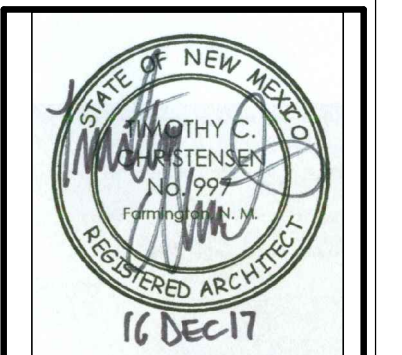
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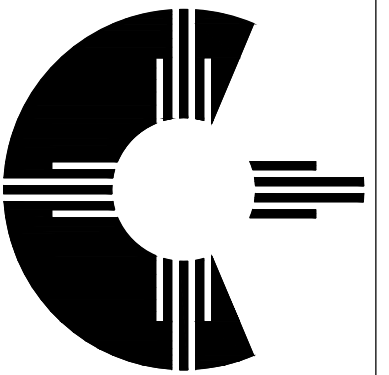
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**A2.1**





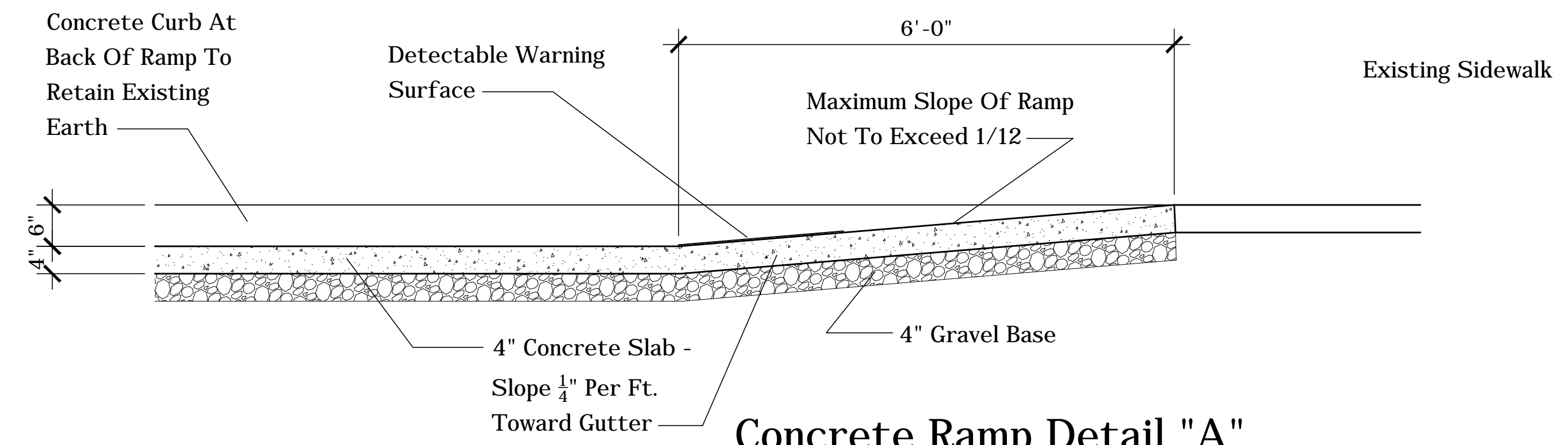
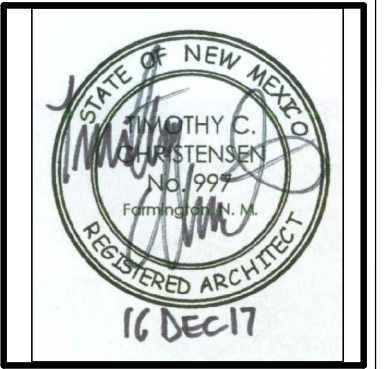
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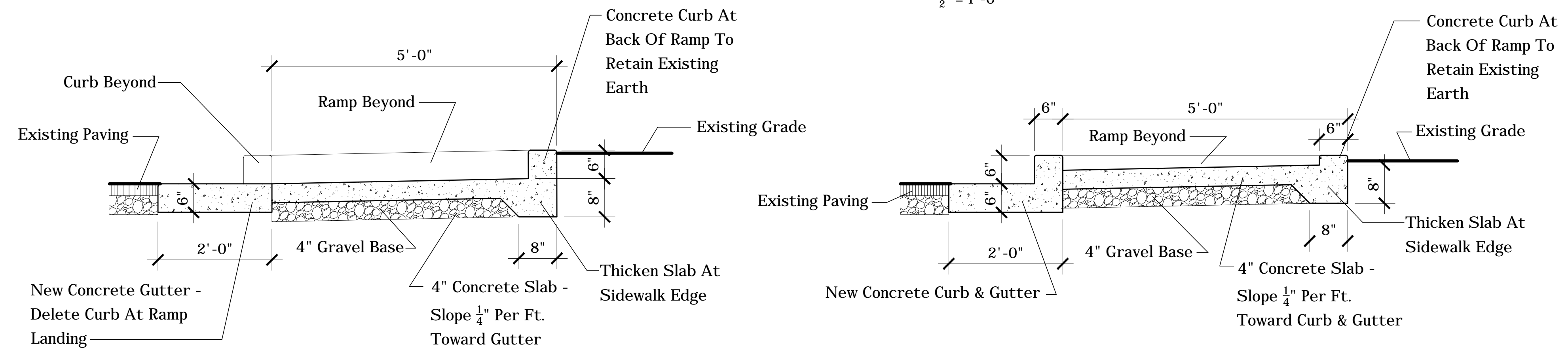
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Concrete Ramp Detail "A"

1/2" = 1'-0"

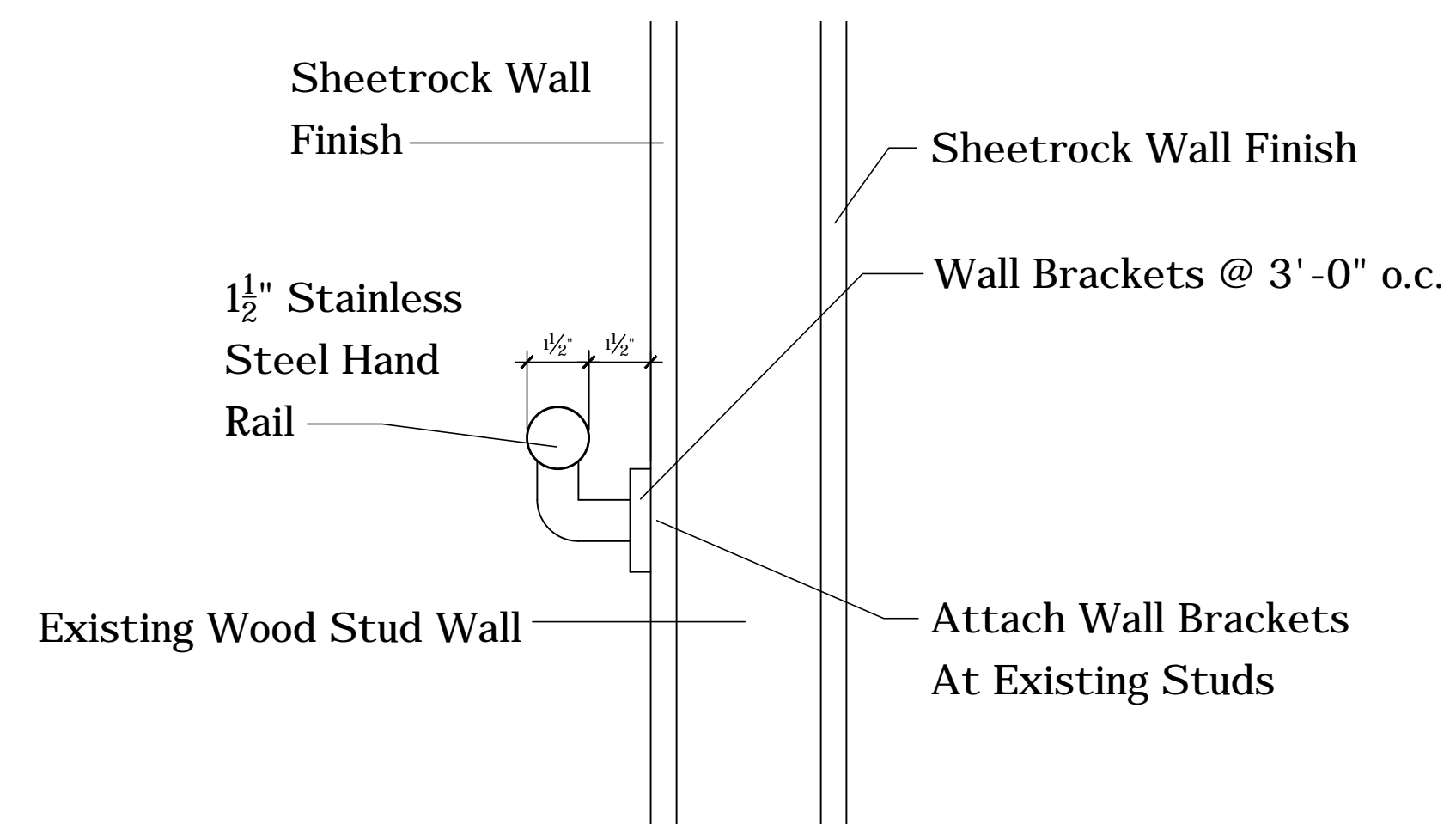


Concrete Ramp Detail "B"

1/2" = 1'-0"

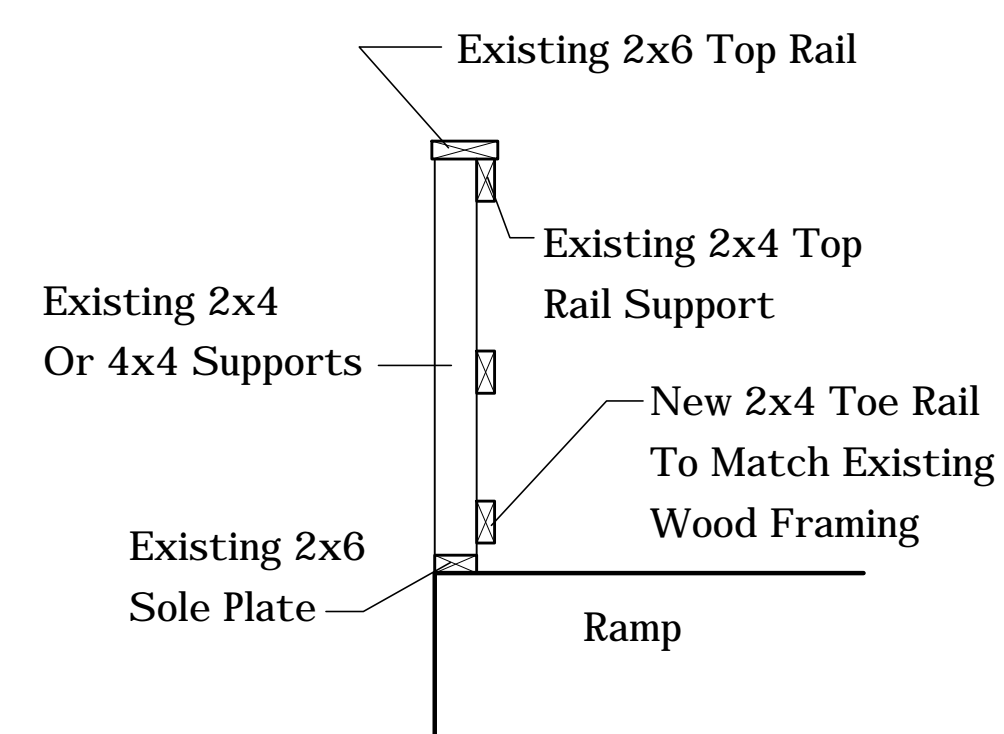
Concrete Ramp Detail "C"

1/2" = 1'-0"



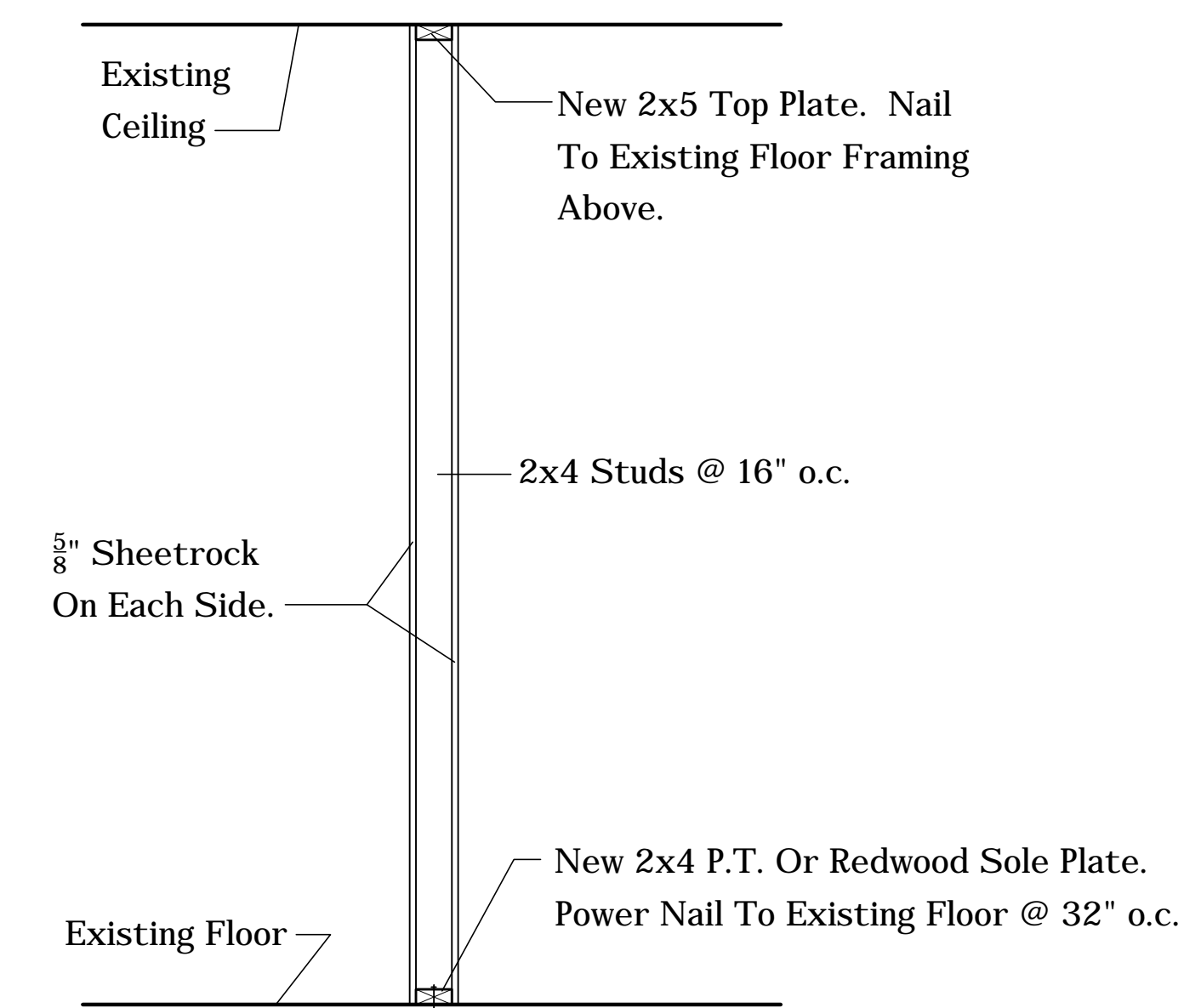
Bathroom Elevation "A"

1/2" = 1'-0"



Existing Ramp Handrail Detail

1/2" = 1'-0"



New Wall Section

1/2" = 1'-0"